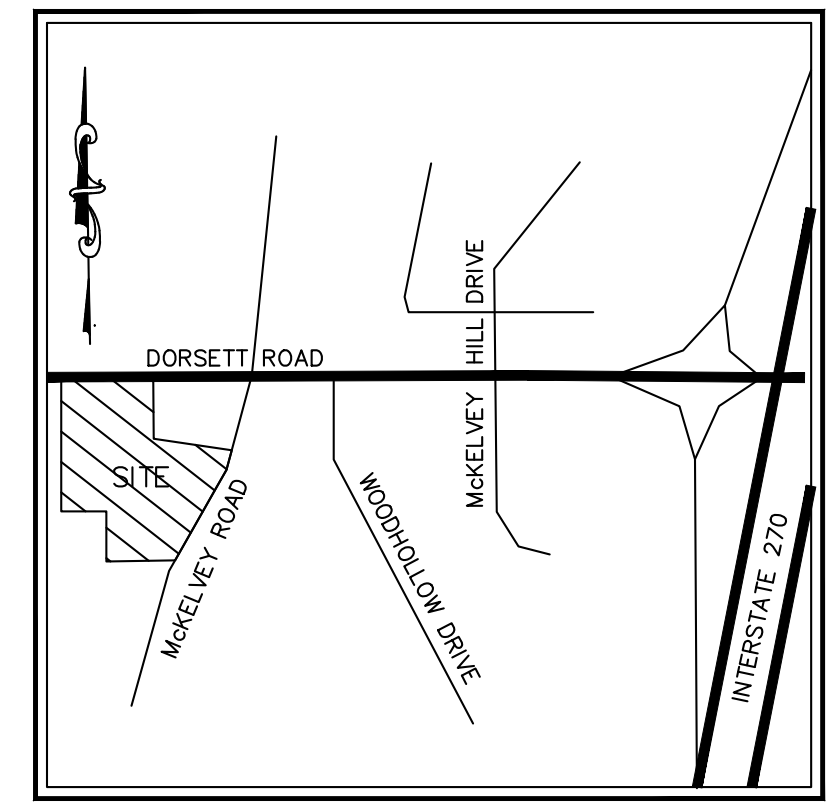


# AMENDED FINAL DEVELOPMENT PLAN

## for ALDI

RESUBDIVISION OF LOT 2 McKELVEY CENTER  
ST. LOUIS COUNTY, MISSOURI



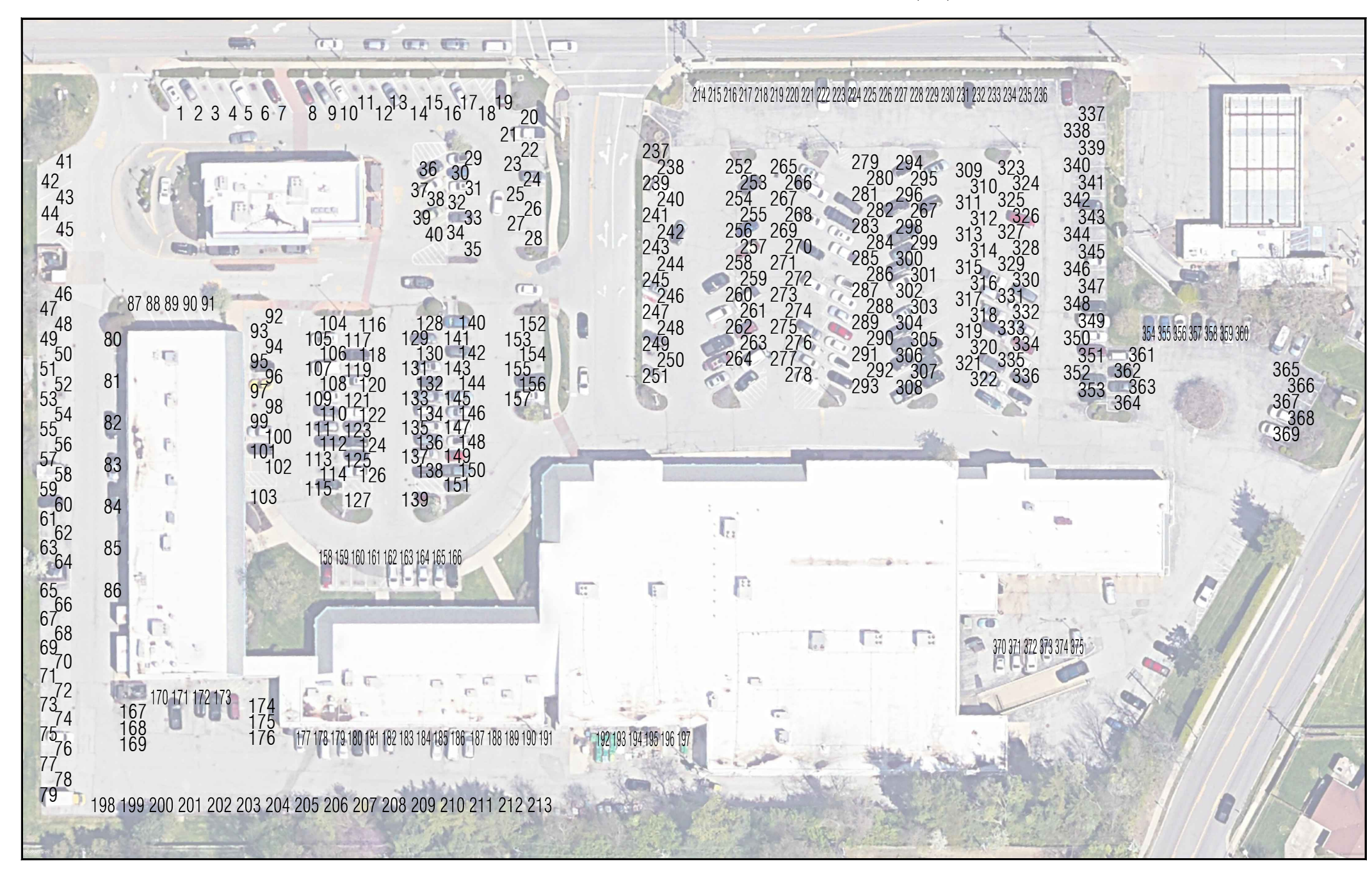
### LOCATION MAP N.T.S.

### PROPERTY DATA

OWNER	= BERG CAHOKIA LLC
ADDRESS	= 12626 DORSETT ROAD
COUNTY LOC #	= 140511211 (ENTIRE PARCEL)
ACREAGE	= 7.13± AC. (ENTIRE PARCEL)
ZONING	= "P-C" PLANNED DISTRICT COMMERCIAL
FIRE DISTRICT	= MARYLAND HEIGHTS FIRE PROTECTION DISTRICT
SCHOOL DISTRICT	= PARKWAY
SEWER DISTRICT	= METROPOLITAN ST. LOUIS SEWER DISTRICT
FEMA MAP	= 29189C0314 K
WATER SHED	= FEE FEE CREEK
ELECTRIC COMPANY	= AMEREN UE
GAS COMPANY	= SPIRE
PHONE COMPANY	= AT&T
WATER COMPANY	= MISSOURI AMERICAN WATER COMPANY

### UTILITIES/AGENCIES

ELECTRIC COMPANY	= AMEREN MISSOURI - DORSETT DISTRICT 12121 DORSETT ROAD ST. LOUIS, MO 63043 PH. (314) 344-9960 EMAIL: dtaylor@ameren.com ATTN: DAVID TAYLOR	WATER COMPANY	= MISSOURI AMERICAN WATER COMPANY 1050 RESEARCH BLVD. ST. LOUIS, MO 63132 PH. (314) 996-2432 ATTN: ENGINEERING
PHONE COMPANY	= AT&T 909 CHESTNUT AVENUE 9-1-04 ST. LOUIS, MO 63101 PH. (636) 402-7078 ATTN: BRADEN BATTLES	CABLE	= CHARTER COMMUNICATIONS, INC 10 NORTHWEST PLAZA DRIVE ST. ANN, MO 63074 ATTN: ROBERT SEWELL
GAS COMPANY	= SPIRE 720 OLIVE STREET ROOM 1408 ST. LOUIS, MO 63101 PH. (314) 713-6573 ATTN: ROB SHACKLES	FIRE DISTRICT	= MARYLAND HEIGHTS FIRE PROTECTION DISTRICT 2600 SCHUETZ ROAD MARYLAND HEIGHTS, MO 63043 PH. (314) 298-4400 ATTN: FIRE MARSHAL MATT PAGANO
		SEWER SERVICE	= METROPOLITAN ST. LOUIS SEWER DISTRICT 2350 MARKET STREET ST. LOUIS, MO 63103 PH. (314) 768-6200



### PARKING EXHIBIT

### LEGEND

EXISTING CONTOURS	---	433
PROPOSED CONTOURS	---	433
EXISTING STORM SEWER	---	ST
PROPOSED STORM SEWER	---	ST
EXISTING SANITARY SEWER	---	SS
PROPOSED SANITARY SEWER	---	SS
PROPERTY LINE	---	
EASEMENT	---	
CENTERLINE	---	
FENCE LINE	---	X
EXISTING TREE	12"	433.28
EXISTING SPOT ELEVATION	433.28	
PROPOSED SPOT ELEVATION	433.28	
SWALE/DRAINAGE PATH	T.B.R.	
TO BE REMOVED	T.B.R. & R.	
TO BE REMOVED & RELOCATED	U.I.P.	
TO BE USED IN PLACE	T.B.A.	
TO BE ADJUSTED	B.C.	
BACK OF CURB	F.C.	
FACE OF CURB	W	W
WATER MAIN	G	G
GAS MAIN	T	T
UNDERGROUND TELEPHONE	OU	OU
OVERHEAD WIRE	E	E
UNDERGROUND ELECTRIC		
FIRE HYDRANT		

### ABBREVIATIONS

N	NORTH
S	SOUTH
E	EAST
W	WEST
CONC	CONCRETE
ASPH	ASPHALT
BLDG.	BUILDING
FB	FLAT BOOK
DB	DEED BOOK
PG	PAGE
S.F.	SQUARE FEET
AC	ACRES
ELEV.	ELEVATION
F.E.S.	FLARED END SECTION
F.F.	FINISH FLOOR
F.L.	FLOWLINE
P.V.C.	POLYVINYL CHLORIDE PIPE
R.C.P.	REINFORCED CONCRETE PIPE
R/W	RIGHT-OF-WAY
STM.	STORM
SAN.	SANITARY
STA.	STATION
(S)	SURVEYED
(R)	RECORDED
TEL.	TELEPHONE
TP.	TYPICAL
TW	GRADE AT TOP OF WALL
BW	GRADE AT BOTTOM OF WALL
V.C.P.	VITRIFIED CLAY PIPE
W/	WITH

### SYMBOLS

WSV	WATER SHUT-OFF VALVE
WMH	WATER MANHOLE
WM	WATER METER
TV	TELEPHONE VAULT
T	TREE & SIZE
B	BUSH & SIZE
B	BOLLARD
S	SIGN
E	ELECTRIC YARD LIGHT
E	ELECTRIC BOX
P	POWER POLE
P	POWER POLE & GUY
C	CLEAN OUT
G	GAS VALVE
G	GAS METER

### SITE BENCHMARK

NAVD88 ELEV. - 499.56' FTUS  
"□" SQUARE CUT ON TOP OF CONCRETE RETAINING WALL ALONG THE WEST PROPERTY LINE OF SHELL GAS STATION, AS SHOWN ON SURVEY.

### ST. LOUIS COUNTY HIGHWAY AND TRAFFIC BENCHMARK

8334 NAVD88(SLC2011A) ELEV = 495.02 FTUS (OR) 150.883 METER  
NGVD29 ELEV = 495.30 FTUS CUT "□" ON THE NORTHEAST CORNER OF THE CONCRETE BASE FOR THE NORTH LEG OF "SHELL" SIGN WITHIN A LAWN AREA IN THE NORTHEAST CORNER OF THE SHELL GAS STATION ADDRESSED AS #1999 MCKELVEY ROAD, ROUGHLY 80 FEET WEST OF THE CENTERLINE OF MCKELVEY ROAD AND 60 FEET SOUTH OF THE CENTERLINE OF DORSETT ROAD.

### Proposed for:



475 Pearl Street  
O'Fallon, Missouri 63366  
PH: (636) 278-4700  
Fax: (636) 278-6277

### PREPARED BY:

**CEDC**  
CIVIL ENGINEERING  
DESIGN CONSULTANTS  
10820 Sunset Office Drive  
Suite 200  
St. Louis, Missouri 63127  
314.729.1400  
Fax: 314.729.1404  
www.cedc.net

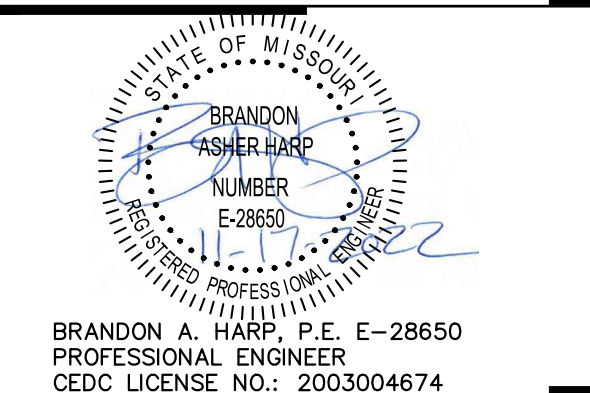
### SHEET INDEX

C1	TITLE SHEET
C2	EXISTING CONDITIONS AND FACILITIES REMOVAL PLAN
C3	SITE DEVELOPMENT PLAN
L1-L2	PLANTING PLAN
CEE-1	CONCEPT EXTERIOR ELEVATIONS
E-1	LIGHTING PHOTOMETRIC PLAN

### GENERAL NOTES

- ALL UTILITIES SHOWN HAVE BEEN LOCATED FROM AVAILABLE RECORDS. THEIR LOCATION SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR HAS THE RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES, PRIOR TO CONSTRUCTION, TO HAVE EXISTING UTILITIES FIELD LOCATED. THE CONTRACTOR SHALL BE ON RECORD WITH THE MISSOURI ONE CALL SYSTEM. ALL PROPOSED UTILITIES TO BE UNDERGROUND.
- ALL ELEVATIONS ARE BASED ON BENCHMARK SHOWN.
- TOPOGRAPHIC SURVEY BY MARLER SURVEYING COMPANY.
- ALL ON-SITE MATERIALS AND METHODS OF CONSTRUCTION TO MEET THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF MARYLAND HEIGHTS.
- ALL GRADED AREAS SHALL BE PROTECTED FROM EROSION BY EROSION CONTROL DEVICES AND/OR SEEDING AND MULCHING AS REQUIRED BY THE CITY OF MARYLAND HEIGHTS.
- PRIOR TO BEGINNING ANY WORK ON THE SITE, THE SUB-CONTRACTOR SHALL CONTACT THE GENERAL CONTRACTOR FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING OF WORK.
- GRADING CONTRACTOR SHALL INSTALL SILTATION CONTROL PRIOR TO STARTING THE GRADING. ADDITIONAL SILTATION CONTROL DEVICES SHALL BE INSTALLED AS DIRECTED BY THE CITY OF MARYLAND HEIGHTS.
- ALL FILLS AND BACKFILLS SHALL BE MADE OF SELECTED EARTH MATERIALS, FREE FROM BROKEN MASONRY, ROCK, FROZEN EARTH, RUBBISH, ORGANIC MATERIAL AND DEBRIS.
- GRADING CONTRACTOR SHALL KEEP EXISTING ROADWAYS CLEAN OF MUD AND DEBRIS AT ALL TIMES.
- PROPOSED CONTOURS SHOWN ARE FINISHED ELEVATIONS ON PAVED AREAS.
- ALL GRADING & DRAINAGE TO BE IN CONFORMANCE WITH THE CITY OF MARYLAND HEIGHTS.
- DRIVE ENTRANCES ARE TO BE CONSTRUCTED IN ACCORDANCE WITH ST. LOUIS COUNTY.
- SIDEWALKS ALONG THE ACCESSIBLE ROUTE SHALL NOT HAVE A SLOPE EXCEEDING 1":20"H. SLOPES GREATER THAN 1":20"H MUST BE DESIGNED AS A RAMP. SIDEWALKS TO BE CONSTRUCTED TO THE CITY OF MARYLAND HEIGHTS ADA STANDARDS.
- SIDEWALKS, CURB RAMPS, RAMPS AND ACCESSIBLE PARKING SPACES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT APPROVED "AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES" (ADAAG) ALONG WITH THE REQUIRED GRADES, CONSTRUCTION MATERIALS, SPECIFICATIONS AND SIGNAGE. IF ANY CONFLICT OCCURS BETWEEN THE ADAAG AND THE INFORMATION ON THE PLANS, THE ADAAG SHALL TAKE PRECEDENCE AND THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER PRIOR TO ANY CONSTRUCTION.
- A PERMIT IS REQUIRED BY THE CITY DEPARTMENT OF PUBLIC WORKS FOR ALL DOWNSPOUTS, ROOF DRAINS AND PRIVATE STORM SEWERS.
- BY GRAPHIC PLOTTING ONLY, THIS PROPERTY DOES NOT LIE WITHIN ANY SPECIAL FLOOD ZONE AREAS ACCORDING TO THE FLOOD INSURANCE RATE MAP PANEL NUMBER 29189C0314K AND COMMUNITY NUMBER 290327 (ST. LOUIS COUNTY UNINCORPORATED) WHICH BEARS AN EFFECTIVE DATE OF FEBRUARY 4, 2015. THE PROPERTY LIES WITHIN FLOOD HAZARD AREA AE AND FLOODWAY (AREAS INUNDAED BY THE 0.1% ANNUAL CHANCE FLOOD) AND UNSHADED ZONE X (AREAS DETERMINED TO BE OUTSIDE 500 YEAR FLOOD PLAIN).
- NO SLOPE SHALL EXCEED 3 (HORIZONTAL) : 1 (VERTICAL), UNLESS JUSTIFIED BY A GEOTECHNICAL REPORT, WHICH HAS BEEN ACCEPTED/APPROVED BY ST. LOUIS COUNTY.
- STORMWATER SHALL BE DISCHARGED AT ADEQUATE NATURAL DISCHARGE POINT. SINKHOLES ARE NOT ADEQUATE NATURAL DISCHARGE POINTS.
- ALL LANDSCAPE AREAS TO BE FILLED WITH A MINIMUM OF 6" OF TOPSOIL.
- ALL LANDSCAPED AREAS DISTURBED BY OFF-SITE WORK SHALL BE IMMEDIATELY SEEDED OR SODDED, AS DIRECTED BY THE CITY OF MARYLAND HEIGHTS UPON COMPLETION OF WORK IN AREA AFFECTED.
- ADEQUATE TEMPORARY OFF-STREET PARKING FOR CONSTRUCTION EMPLOYEES SHALL BE PROVIDED. PARKING ON NON-SURFACED AREAS SHALL BE PROHIBITED IN ORDER TO ELIMINATE THE CONDITION WHEREBY MUD FROM CONSTRUCTION AND EMPLOYEES' VEHICLES IS TRACKED ONTO THE PAVEMENT CAUSING HAZARDOUS ROADWAY AND DRIVEWAY CONDITIONS.
- ALL STORM AND SANITARY SEWER STRUCTURES AND APPURTENANCES TO BE DEDICATED TO MSD, OR TO BE PRIVATE UNDER MSD INSPECTION, SHALL CONFORM TO THE METROPOLITAN ST. LOUIS SEWER DISTRICT, STANDARD CONSTRUCTION SPECIFICATIONS FOR SEWERS AND DRAINAGE FACILITIES, 2009. THAT WILL INCLUDE STANDARD DETAILS SHOWN THEREIN, AND SHALL INCLUDE ALL SUBSEQUENT CHANGES MADE THERETO.
- ALL PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED TO THE CITY OF MARYLAND HEIGHTS STANDARDS.
- NO STEP ALLOWED AT ACCESSIBLE ENTRANCE DOORS.
- ALL SIGN LOCATIONS AND SIZES TO BE APPROVED SEPARATELY THROUGH THE PLANNING DIVISION.
- CONTRACTOR'S SURVEYOR REQUIRED TO ESTABLISH NEW SITE BENCHMARK IF EXISTING BENCHMARK IS DISTURBED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
- ANY WORK THAT OCCURS WITHIN THE RIGHT-OF-WAY REQUIRES A PERMIT FROM THE CITY OF MARYLAND HEIGHTS. NO WORK SHALL PROCEED WITHIN THE RIGHT-OF-WAY UNTIL THE APPROPRIATE PERMITS ARE OBTAINED.
- LANDSCAPING IRRIGATION SYSTEMS TO BE CAPPED AND REMOVED IN AREAS OF CONSTRUCTION WITH SERVICE LINES AND CAPS FLAGGED OR PROPERLY MARKED FOR FUTURE TIE-INS, IF APPLICABLE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR TRAFFIC CONTROL PER THE CITY OF MARYLAND HEIGHTS STANDARDS TO MINIMIZE TRAFFIC DISRUPTION WITHIN RIGHT-OF-WAY OF ADJACENT ROADS.
- ALL DEBRIS RESULTING FROM THE DEMOLITION OF PAVEMENTS, CURBING, STRUCTURES, FOUNDATION AND FOOTINGS SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED OF UNLESS NOTED OTHERWISE IN THE PROJECT SPECIFICATIONS.
- PUBLIC UTILITY FACILITIES SUCH AS MANHOLES, METER AND VALVE BOXES OF GAS, ELECTRIC AND TELEPHONE WILL BE ADJUSTED OR RELOCATED BY THE VARIOUS UTILITY COMPANIES. ADJUSTMENT OF UTILITY AND SEWER FACILITIES NOT PROVIDED BY THE UTILITY COMPANIES WILL BE PROVIDED BY THE CONTRACTOR AS NECESSARY.
- THE CONTRACTOR SHALL BE REQUIRED TO BE FAMILIAR WITH ALL EXISTING CONDITIONS AT THE SITE PRIOR TO SUBMITTING BID OR STARTING WORK. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES THAT MAY EXIST BETWEEN THE CONTRACT DOCUMENTS AND REQUEST CLARIFICATION IN WRITING PRIOR TO THE BID.
- DESIGN OF SHORING FOR UTILITY AND SEWER TRENCHES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- STRUCTURE SETBACKS
  - FRONT: 25'
  - SIDE: 12' IF ADJACENT TO ANY RESIDENTIAL ZONING DISTRICT, A SIDE YARD SHALL THEN BE THE SAME AS REQUIRED IN THE ZONING DISTRICT IT ABUTS
  - REAR: 0' OR 25' IF ADJACENT TO ANY NON-URBAN OR RESIDENTIAL ZONING DISTRICT
- PARKING SETBACKS
  - FIFTEEN (15) FEET FROM ANY ROAD RIGHT-OF-WAY LINE
  - SIX (6) FEET FROM ANY ADJACENT PROPERTY LINE
  - TEN (10) FEET FROM REAR PROPERTY LINE
- PARKING CALCULATIONS FOR ENTIRE DORSETT SQUARE DEVELOPMENT
  - PARKING REQUIRED: 420 SPACES MINIMUM
  - PARKING PROVIDED: 375 SPACES

NOTE:  
THE UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SOURCES AND THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE ACTUAL LOCATIONS OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THIS DRAWING, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE LOCATED PRIOR TO GRADING OR CONSTRUCTION OF IMPROVEMENTS.  
**MISSOURI ONE CALL TICKET NUMBER 220754445**  
UTILITIES CONTACT BY MISSOURI ONE CALL WHERE:  
ADB COMPANIES, AMEREN MISSOURI ELECTRIC, ATT DISTRIBUTION, CABLE AMERICAN, CHARTER COMMUNICATIONS, EDWARD JONES, MISSOURI AMERICAN WATER CO, SPIRE MO EAST, ST. LOUIS METROPOLITAN SEWER, MCI



DEVELOPER	ALDI, INC.
CIVIL ENGINEER	CEDC
ARCHITECT	SSA ARCHITECTS
STRUCTURAL ENGINEER	
MECHANICAL ENGINEER	
PLUMBING ENGINEER	
ELECTRICAL ENGINEER	



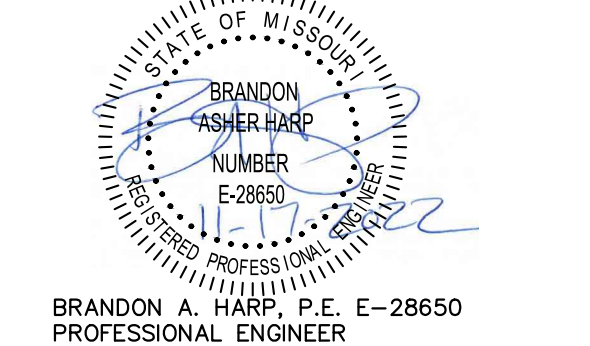
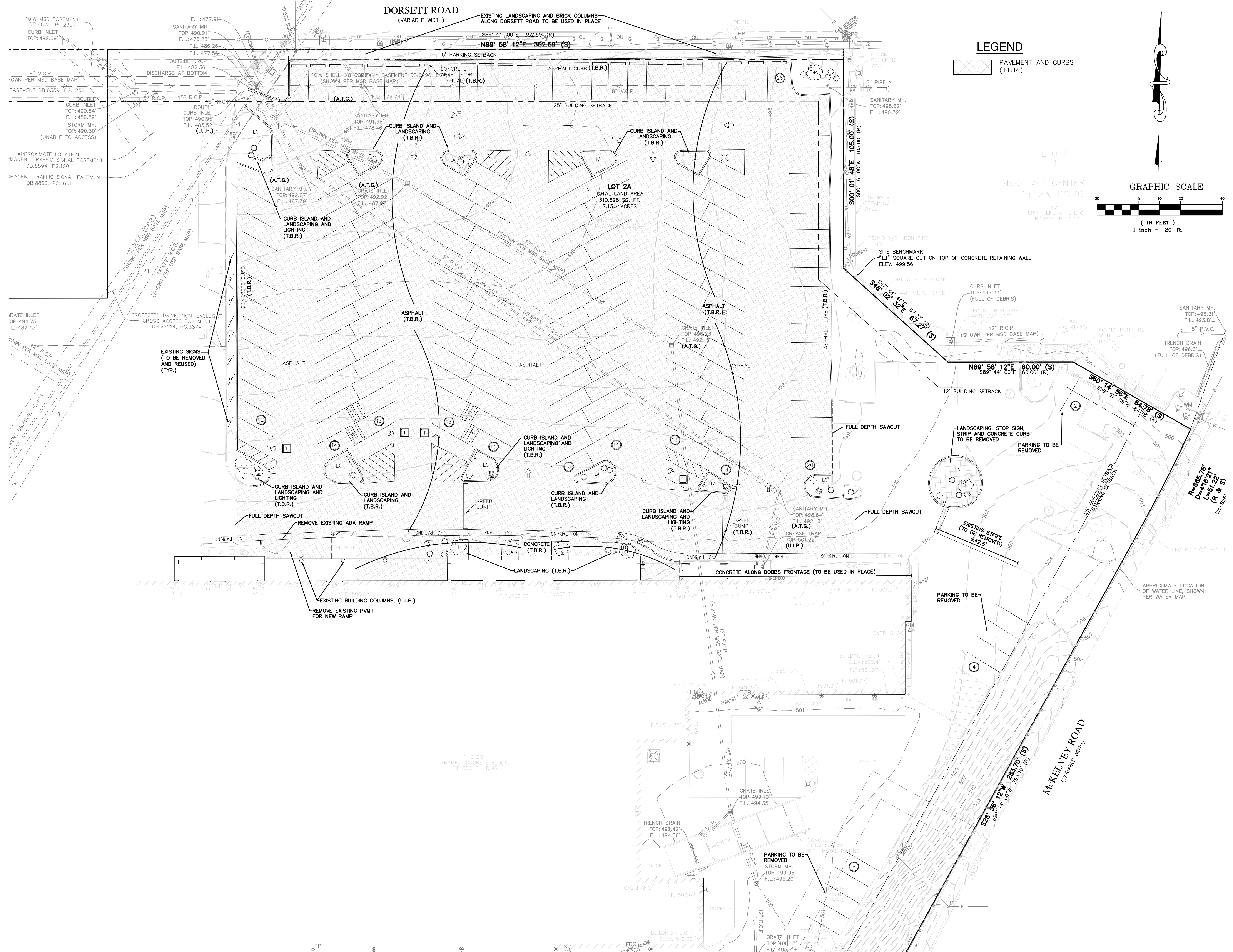
**ALDI**  
12626 DORSETT ROAD  
MARYLAND HEIGHTS, MO  
63043



DATE:	
REVISIONS	
CITY SUBMITTAL	11/18/22
DWG. BY	
PROJECT NO.	2073
SHEET NO.	

**C1**  
TITLE SHEET





BRANDON A. HARP, P.E. E-28650  
 PROFESSIONAL ENGINEER  
 CEDC LICENSE NO.: 2003004674

- DEVELOPER
- CIVIL ENGINEER
- ARCHITECT
- STRUCTURAL ENGINEER
- MECHANICAL ENGINEER
- PLUMBING ENGINEER
- ELECTRICAL ENGINEER

ALDI, INC.  
 CEDC  
 SGA ARCHITECTS



**ALDI**  
 12626 DORSETT ROAD  
 MARYLAND HEIGHTS, MO  
 63043

**CEDC**  
 CIVIL ENGINEERING  
 DESIGN CONSULTANTS  
 10820 Sunset Office Drive, Suite 200  
 Saint Louis, Missouri 63127  
 314-729-1400

DATE: \_\_\_\_\_

REVISIONS

NO.	DESCRIPTION	DATE
1	CITY SUBMITTAL	11/18/22

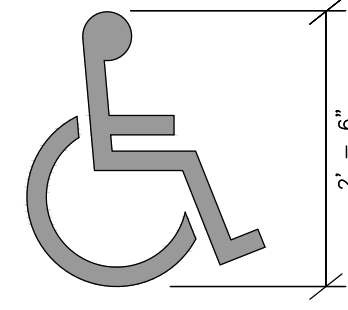
DWG. BY: \_\_\_\_\_

PROJECT NO. 2073

SHEET NO. \_\_\_\_\_

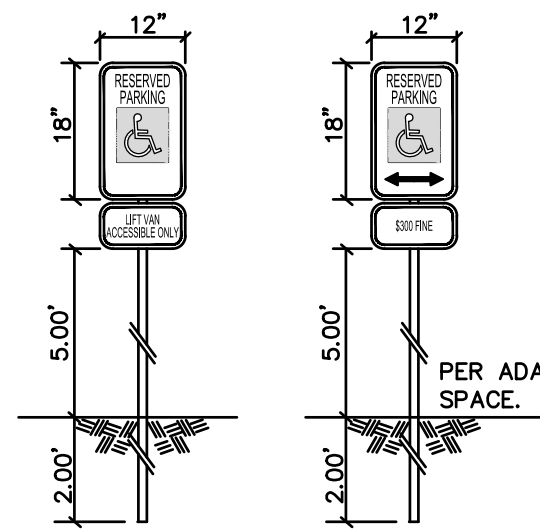
**C2**  
 EXISTING CONDITIONS AND  
 FACILITIES REMOVAL PLAN





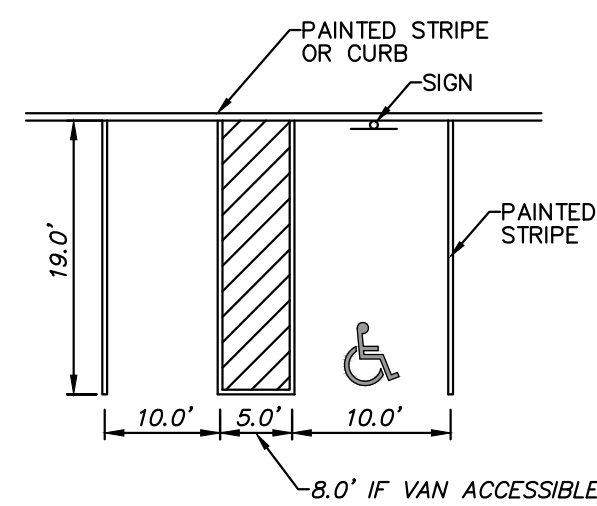
ADA SIGN (n.t.s.)

NOTE: ADA GRAPHIC SHALL BE WHITE OR PER LOCAL CODE



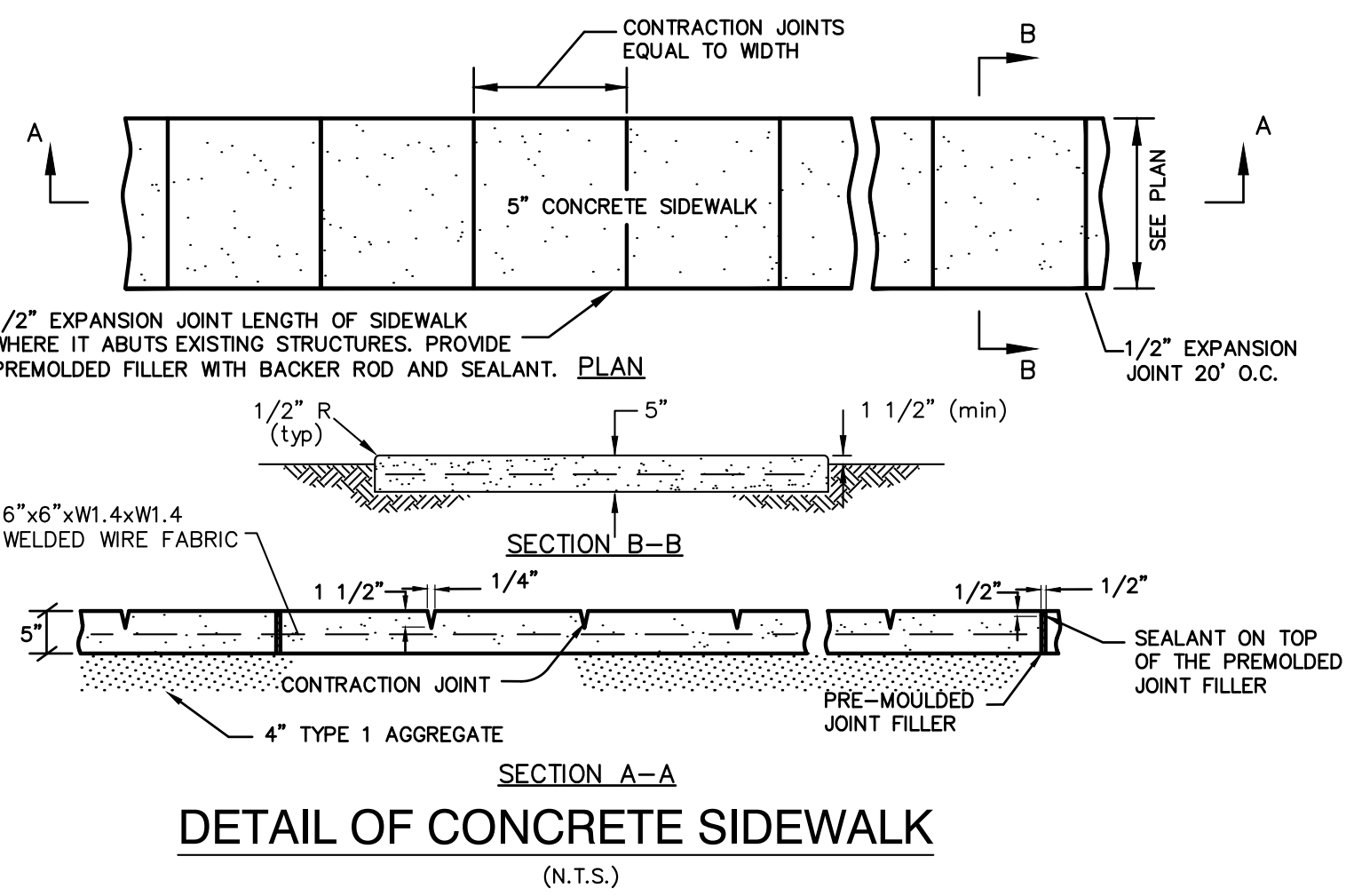
ACCESSIBLE PARKING SIGN

- STANDARD SIGN FACE, STANDARD HIGHWAY DEPARTMENT OR CITY STREET DEPARTMENT GAUGE... LETTERS AND BORDERS ARE GREEN... HANDICAP LOGO SQUARE IS BLUE AND THE BACKGROUND IS WHITE... GALVANIZED U CHANNEL POST 7'-0" LONG, SET 3'-0" INTO GRADE... SET BOTTOM OF "FINE" SIGN 60" A.F.G.

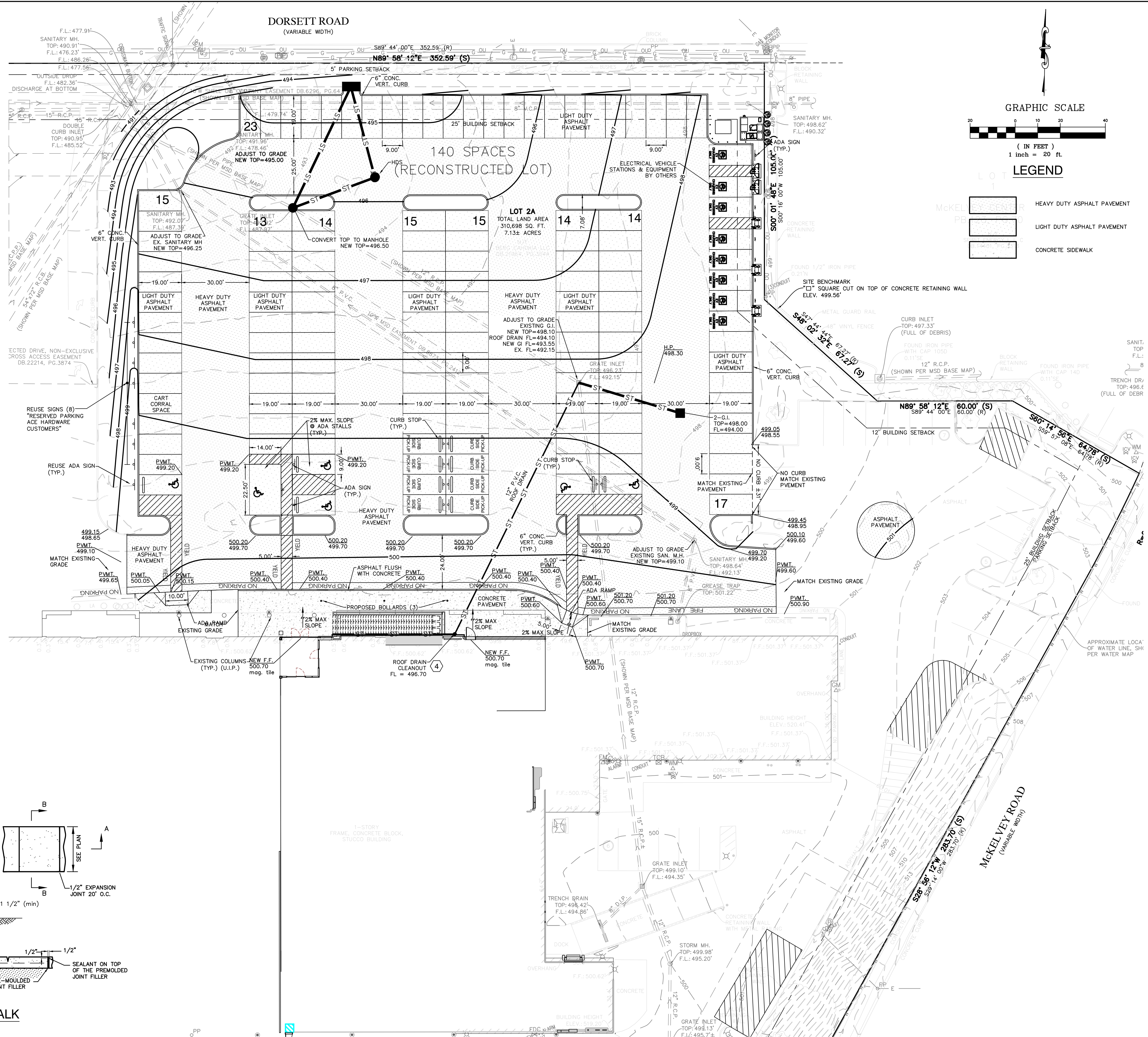


TYPICAL PARKING STALLS (n.t.s.)

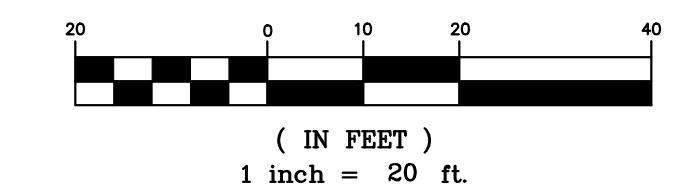
NOTE: ADA STRIPING & GRAPHIC SHALL BE WHITE OR PER LOCAL CODE



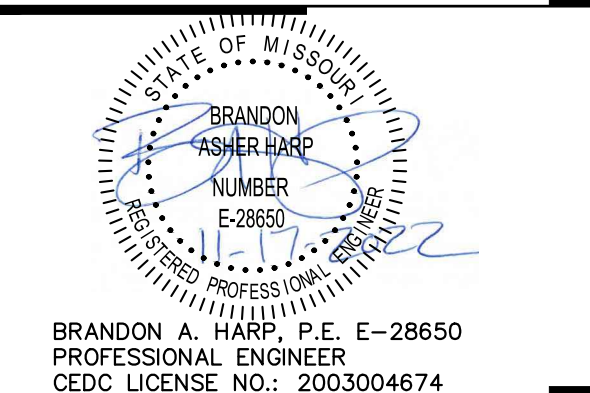
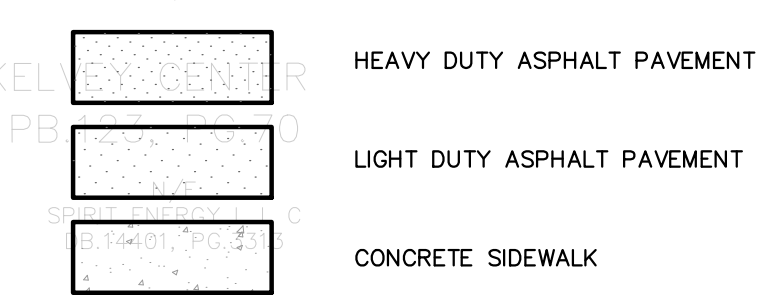
DETAIL OF CONCRETE SIDEWALK (N.T.S.)



GRAPHIC SCALE



LEGEND



BRANDON A. HARP, P.E. E-28650 PROFESSIONAL ENGINEER CEDC LICENSE NO.: 2003004674



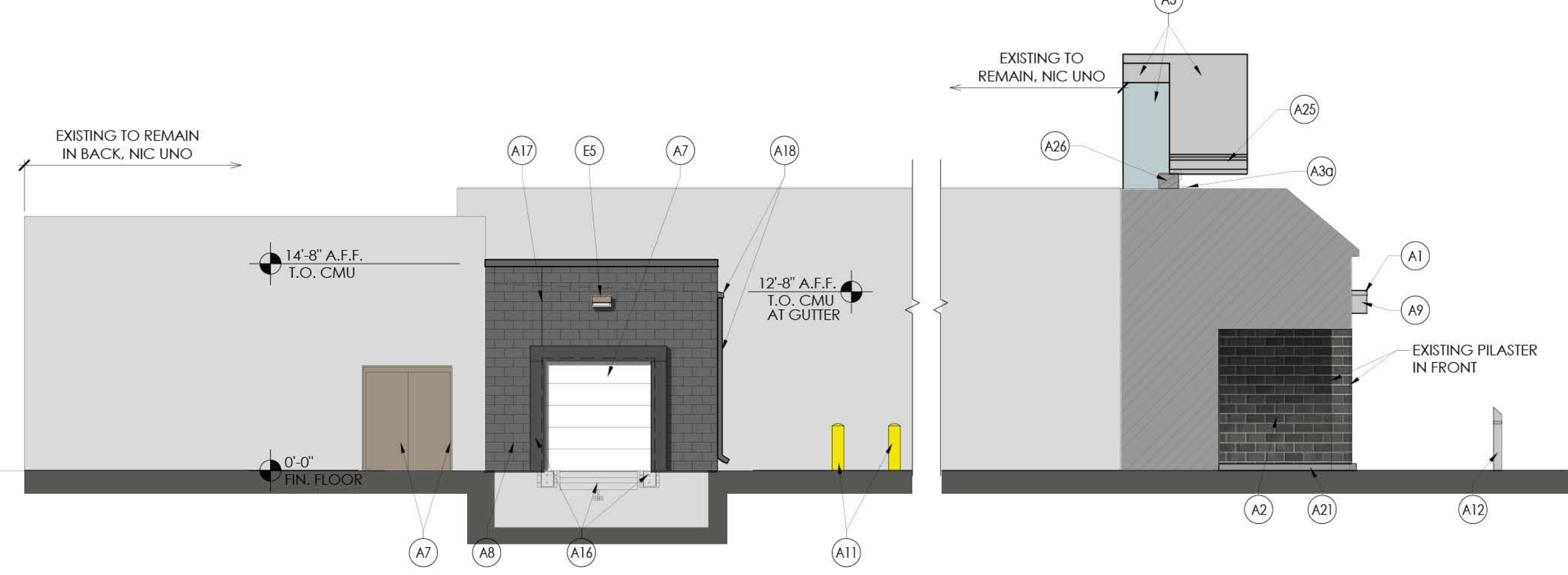
ALDI 12626 DORSETT ROAD MARYLAND HEIGHTS, MO 63043

CEDC CIVIL ENGINEERING DESIGN CONSULTANTS 10820 Sunset Office Drive, Suite 200 Saint Louis, Missouri 63127 314-729-1400

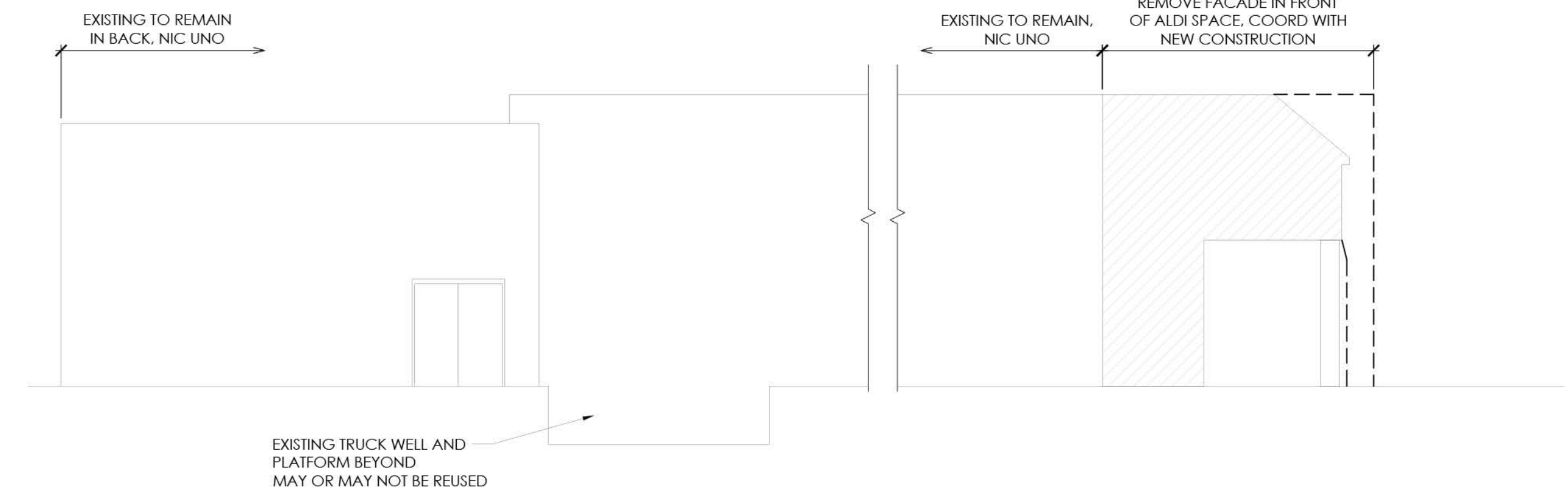
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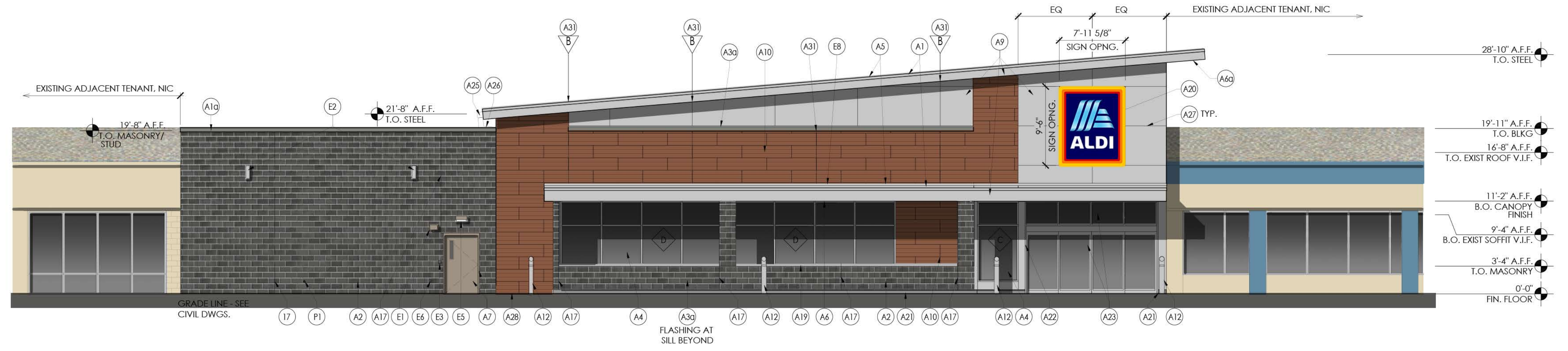
# V2.0 REMODEL - NOT FOR CONSTRUCTION



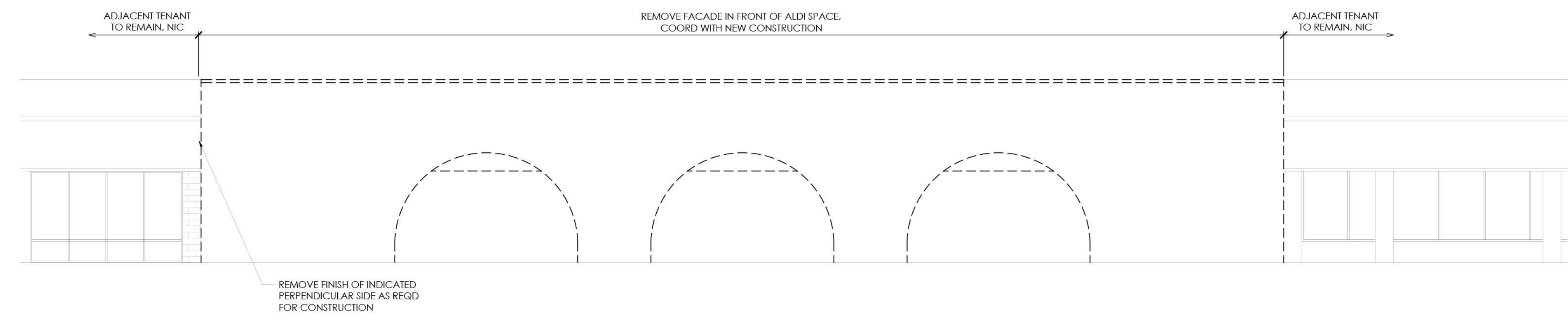
4 Proposed Side Elevation  
SCALE: 1/8" = 1'-0"



3 Existing Side Elevation  
SCALE: 1/8" = 1'-0"



2 Proposed Front Elevation  
SCALE: 1/8" = 1'-0"



1 Existing Front Elevation  
SCALE: 1/8" = 1'-0"

Issued:	Date:
A	Concept Plan & Elevations 11/13/20
B	
C	
D	
E	

Revisions:	Date:
1	Owner Comment 05/03/21
2	Owner Comment 05/10/21
3	Owner Comment 06/23/21
4	Owner Comment 09/08/21
5	Owner Comment 10/07/21
6	Post Scope 10/18/21
7	Owner Comment 10/13/22
8	
9	

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 1437 South Boulder, Suite 550  
 Tulsa, Oklahoma 74119.3609  
 p: 918.587.8600  
 f: 918.587.8601  
 www.sgadesigngroup.com  
 Certificate of Authority #A-2008031944  
 Architecture

DRAWN BY:  
 REVIEWED BY:

Seal  
**PRELIMINARY - NOT FOR CONSTRUCTION**

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**ALDI Inc.**  
 475 Pearl Street  
 O'Fallon, MO 63366  
 (636) 278-4700  
 (636) 278-8277 fax

ALDI Inc. Store #: 80  
 Maryland Heights, MO  
 12632 Dorsett Square  
 Maryland Heights, MO 63043  
 St. Louis County  
 Project Name & Location:

Concept Exterior Elevations  
 Drawing Name:  
 Date: 11/13/20  
 Type:  
 Scale: As Noted  
 Project No. 20133242  
 CEE-1  
 Drawing No.





REVISIONS	BY
10/14/2022	RMM
11/17/2022	RMM

**Landscape TECHNOLOGIES**

67 Jacobs Creek Drive, Suite 100  
St. Louis, MO 63105  
(314) 438-1200  
www.landscapearchitect.com

REGISTERED ARCHITECT #000014  
DATE: 11/17/2022

PLANTING PLAN FOR THE PROPOSED  
**Aldi**  
 12626 DORSETT RD. MARYLAND HEIGHTS, MO 63043

DRAWN	R. MARDIS
CHECKED	RMM
DATE	5/17/2022
SCALE	N.A.
JOB No.	2022-133
SHEET	L-2
OF	TWO SHEETS

## LANDSCAPE GUIDELINE SPECS:

### GENERAL:

- 1.) Base map information is accurate as of the date of drawing printed in this package.
- 2.) It shall be the landscape contractor's responsibility to:
  - A.) Verify all existing and proposed features shown on the drawings prior to commencement of work.
  - B.) Report all discrepancies found with regard to existing conditions or proposed design to the landscape architect immediately for a decision.
  - C.) Stake the locations of all proposed plant material and obtain the approval of the owner's representative or landscape architect ten (10) days prior to installation.
- 3.) The contractor shall be in compliance with all codes applicable to this work.
- 4.) Clean all planting beds of debris, rock, building material, etc. prior to adding / spreading topsoil or mulch.
- 5.) All annual and/or perennial beds are to be roto-tilled at a depth of 12" and amended with peat moss or organic material prior to planting. All grass and/or weeds shall be killed / removed from new planting beds of any kind.
- 6.) Remove all debris and rock in parking lot islands shall be removed / disposed and new topsoil provided to a depth of 8" with a berm 4" higher than the adjacent curbing.
- 7.) All natural vegetation shall be maintained where it does not interfere with construction or the permanent plan of operation. Every effort possible shall be made to protect existing structures or vegetation from damage due to equipment usage. Contractor shall at all times protect all materials and work against injury to public.
- 8.) The landscape contractor shall be responsible for any coordination and sequencing with other site related work being performed by other contractors. Any damage to the existing improvements shall be the responsibility of the contractor. It shall be the responsibility of the contractors to restore all areas of the site where disturbed by said contractor. Refer to additional drawings for further coordination of work to be done.
- 9.) Underground facilities, structures and utilities must be considered approximate only. There may be others not presently known or shown. It shall be the landscape contractor's responsibility to determine or verify the existence of and exact location of the above (Call utility location services in municipality).
- 10.) Plant material are to be planted in the same relationship to grade as was grown in nursery conditions. All planting beds shall be cultivated to 6" depth minimum and graded smooth immediately before planting of plants. Plant groundcover to within 12" of trunk of trees or shrubs planted within the area.
- 11.) Plant material shall be typical in shape and form for species specified. Plants planted in groupings and masses shall also be matched. Container grown plant material shall not be root-bound and balled-and-burlapped material shall have root balls as dictated by American Standard for Nursery Stock.
- 12.) Items shown on this drawing take precedence over the material list. It shall be the landscape contractor's responsibility to verify all quantities and conditions prior to implementation of this plan. No substitutions of types or size of plant materials will be accepted without written approval from the landscape architect.
- 13.) Provide single-stem trees unless otherwise noted in plant schedule.
- 14.) All plant material shall comply with the recommendations and requirements of ANSI Z60.1 "American Standards for Nursery Stock".
- 15.) It shall be the contractor's responsibility to provide for inspection of the plant material by the Landscape Architect (or Owners' Representative) prior to acceptance. Inspections may take place before, during or after installation. Plants not conforming exactly to the plant list will not be accepted and shall be replaced at the landscape contractor's expense.
- 16.) All bids are to have unit prices listed. The Owner has the option to delete any portion of the contract prior to signing the contract or beginning work. This will be a unit price contract; quotes shall be valid for 12 months.
- 17.) Should auger equipment be utilized in excavating any plant pits, vertical sides of plant pits shall be thoroughly scarified to avoid creation of "polished side walls" prior to plant material installation.
- 18.) All excess topsoil, rocks, debris and/or tainted soils shall be removed by the general contractor prior to point project is turned over to the landscape contractor to commence landscape installation.
- 19.) Keep all plant material (except turf) a minimum of 36" clear of fire hydrants.
- 20.) All tags, nursery stakes, labels, etc. shall be removed by the landscape contractor at completion of all landscape installation.
- 21.) Landscape contractor shall be in compliance with all federal, state and local laws / regulations relating to insect infestation and/or plant diseases.
- 22.) All substitutions of plant material shall be submitted to landscape architect for approval.
- 23.) Tree protection fencing is to be installed prior to any grading operations and inspected daily / maintained in place until completion of the project.
- 24.) No parking, storage of materials or any other construction activities are to occur within tree protection areas.

### PRUNING:

- 1.) Lightly prune trees at time of planting. Prune only the crossover limbs, intermingled leaders and/or any broken branches. Some interior twigs and lateral branches may be pruned. However, do not remove the terminal buds of branches that extend to the edge of the crown.
- 2.) All pruning shall comply with ANSI A300 standards.

### INSURANCE:

- 1.) The landscape contractor shall submit certificates of insurance for workman's compensation and general liability.

### MULCH:

- 1.) All mulch to be shredded oak bark mulch at 3" depth (after compaction) unless otherwise noted. Mulch shall be clean and free of all foreign materials, including weeds, mold, deleterious materials, etc.
- 2.) No plastic sheeting or filter fabric shall be placed beneath shredded bark mulch beds. Mirafli fabric shall be used beneath all gravel mulch beds. Lap fabric 6" over adjacent coverages.
- 3.) Edge all beds with spade-cut edge unless otherwise noted.

### TOPSOIL:

- 1.) Topsoil mix for all proposed landscape plant material (excluding turf areas) shall be five (5) parts well-drained screened organic topsoil to one (1) part Canadian sphagnum peat moss as per planting details. Roto-till topsoil mix to a depth of 6" minimum and grade smooth.
- 2.) Provide a soil analysis, as requested, made by an independent soil-testing agency outlining the % of organic matter, inorganic matter, deleterious material, pH and mineral content.
- 3.) Any foreign topsoil used shall be free of roots, stumps, weeds, brush, stones (larger than 1"), litter or any other extraneous or toxic material. Landscape contractor shall be fully responsible for correcting all negative soil issues prior to plant installation. Killing and removal of all weeds shall be the responsibility of the landscape contractor as part of this task.
- 4.) Landscape contractor to apply pre-emergent herbicide to all planting beds upon completion of planting operations and before application of shredded bark mulch.
- 5.) Install siltation controls prior to commencement of any grading operations. Inspect and maintain all siltation fences on a weekly basis until vegetation is established.

### WARRANTY:

- 1.) All plant material (excluding ground cover, perennials and annuals) are to be warranted for a period of 12 months after complete installation of all landscape material at 100% of the installed price. All plant material deemed unhealthy, unsightly or having undue amounts of dead branches by the landscape architect shall be replaced under this warranty.
- 2.) Any plant material found to be defective shall be removed and replaced within 30 days of notification or in growth season determined to be best for that plant.
- 3.) Only one replacement per tree or shrub shall be required at the end of the warranty period, unless loss is due to failure to comply with the warranty.
- 4.) Landscape contractor shall not be liable due to acts of God or vandalism.
- 5.) Lawn establishment period will be in effect once the lawn has been mowed three times. Plant establishment period shall commence on the date of acceptance and 100% completion.
- 6.) A written guarantee shall be provided to the owner per conditions outlined in #1 above.

### TURF:

- 1.) All disturbed lawn areas to be seeded with a mixture of Turf-Type fescue (300# per acre) and bluegrass (18# per acre). Lawn areas shall be unconditionally warranted for a period of 90 days from date of final acceptance. Bare areas more than one square foot per any 50 square feet shall be replaced.
- 2.) Seed and fertilization operations shall occur between May 1 and June 15th or between September 1 and October 15th unless directed by others in writing AND Irrigation system is operating.
- 3.) Granular or pelleted fertilizer consisting of 50% water-insoluble slow release nitrogen, phosphorous and potassium in a 12-12-12 composition.
- 4.) The turf contractor shall be responsible for protection of finished grade; restore and repair any erosion or water damage and obtain owners' approval prior to seeding or sod installation.
- 5.) Landscape contractor shall offer an alternate price for sod in lieu of seed. Sod shall be cut at a uniform thickness of 3/4". No broken pieces, irregular pieces or torn pieces will be accepted.
- 6.) Any points carrying concentrated water loads and all slopes of 15% or greater shall be sodded.
- 7.) All sod shall be placed a maximum of 24 hours after harvesting.
- 8.) Recondition existing lawn areas damaged by Contractor's operations including equipment/material storage and movement of vehicles.
- 9.) Sod Contractor to ensure sod is placed below sidewalk and all paved area elevations to allow for proper drainage.

## PLANT SCHEDULE

TREES	QTY	COMMON / BOTANICAL NAME	SIZE
ARM	2	Armstrong Red Maple / <i>Acer rubrum</i> 'Armstrong'	2.5"Cal
PSG	1	Princeton Sentry Ginkgo / <i>Ginkgo biloba</i> 'Princeton Sentry'	2.5"Cal.
FLOWERING TREES	QTY	COMMON / BOTANICAL NAME	SIZE
CFC	8	Coralburst Crabapple / <i>Malus</i> 'Coralburst'	2"Cal
SHRUBS	QTY	COMMON / BOTANICAL NAME	SIZE
DBB	1	Compact Burning Bush / <i>Euonymus alatus</i> 'Compactus'	24"-30" B#B
YAJUN	47	Compact Youngstown Andorra Juniper / <i>Juniperus horizontalis</i> 'Youngstown'	5 gal
GBIH	12	Gem Box Inkberry Holly / <i>Ilex glabra</i> 'Gem Box'	5 Gal.
GGEM	44	Green Gem Boxwood / <i>Buxus</i> x 'Green Gem'	5 Gal.
LDN	22	Little Devil Ninebark / <i>Physocarpus opulifolius</i> 'Little Devil' TM	5 Gal.
GRASSES	QTY	COMMON / BOTANICAL NAME	SIZE
MG	5	Maiden Grass / <i>Miscanthus sinensis</i> 'Gracillimus'	5 gal



**Luminaire Schedule**

Symbol	Qty	Label	Arrangement	LMF	Lum. Lumens	Lum. Watts	Part Number
	6	L21	SINGLE	1.000	3250	24	NTW-A-WM-T3-3L-30K-UL-CS-P
	5	L22	SINGLE	1.000	3831	29	CPY250-B-DM-F-C-UL-CS-30K(MOD 29W)
	2	L24	SINGLE	1.000	N.A.	59	CL-20364LEDD-SAT-CLR-SB
	6	L34	4 @ 90°	1.000	11475	75	NTA-A-NM-T4-11L-57K-UL-CS & NTA-DA-CS

**Calculation Summary; 1.00 LLF**

Label	Units	Avg	Max	Min	Avg/Min	Max/Min
All Calc Points	Fc	1.99	15.2	0.0	N.A.	N.A.
Paved Parking	Fc	3.96	12.3	0.5	7.92	24.60

**Fixture Mounting Height: 29' AFG (25' Pole + 4.0' Base)**

**Poles:**

**(6) - CL-SSP-4011-25-D6-PS (25' x 4" x 11ga STEEL SQUARE POLE, 4@90°)**

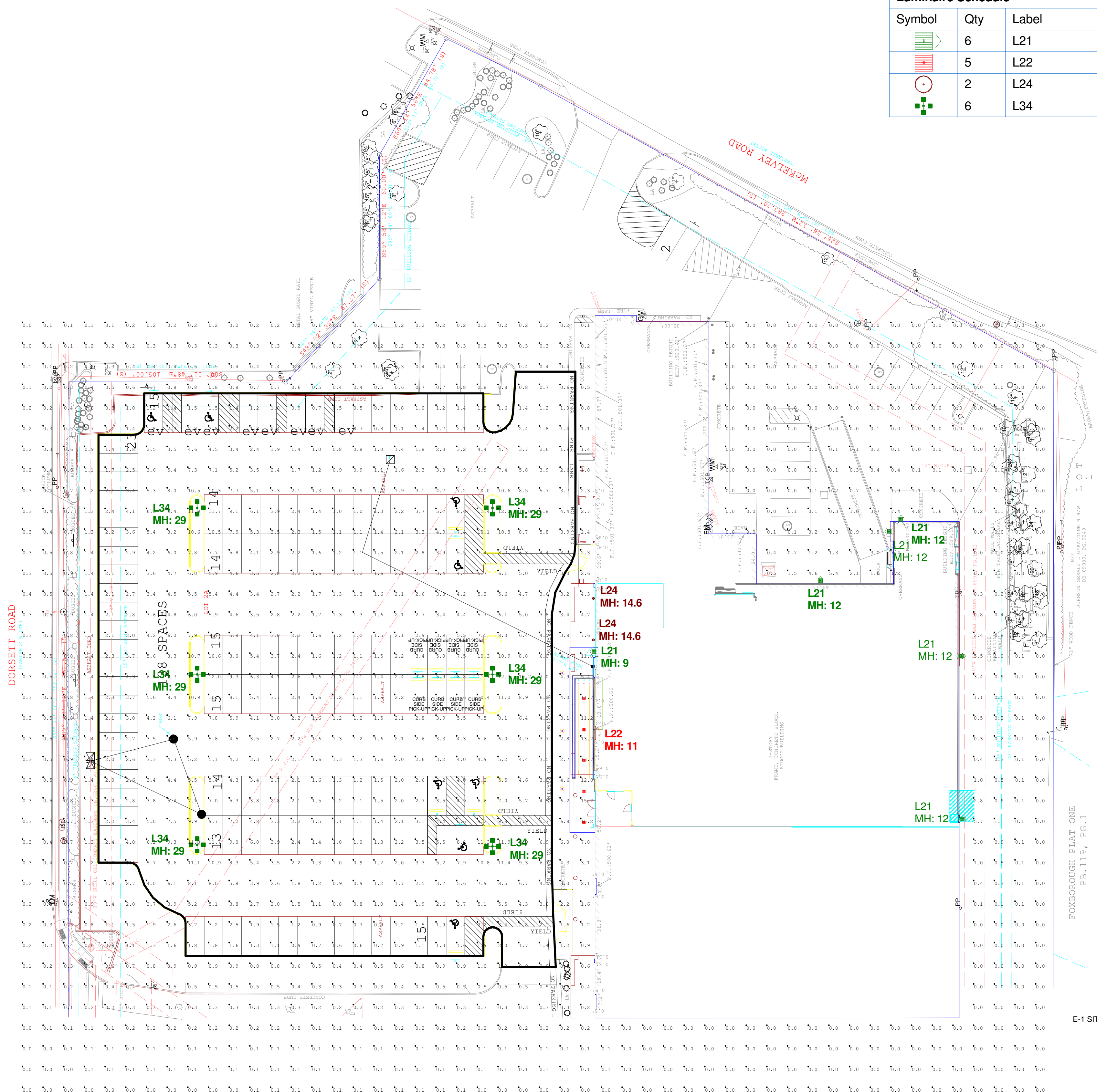
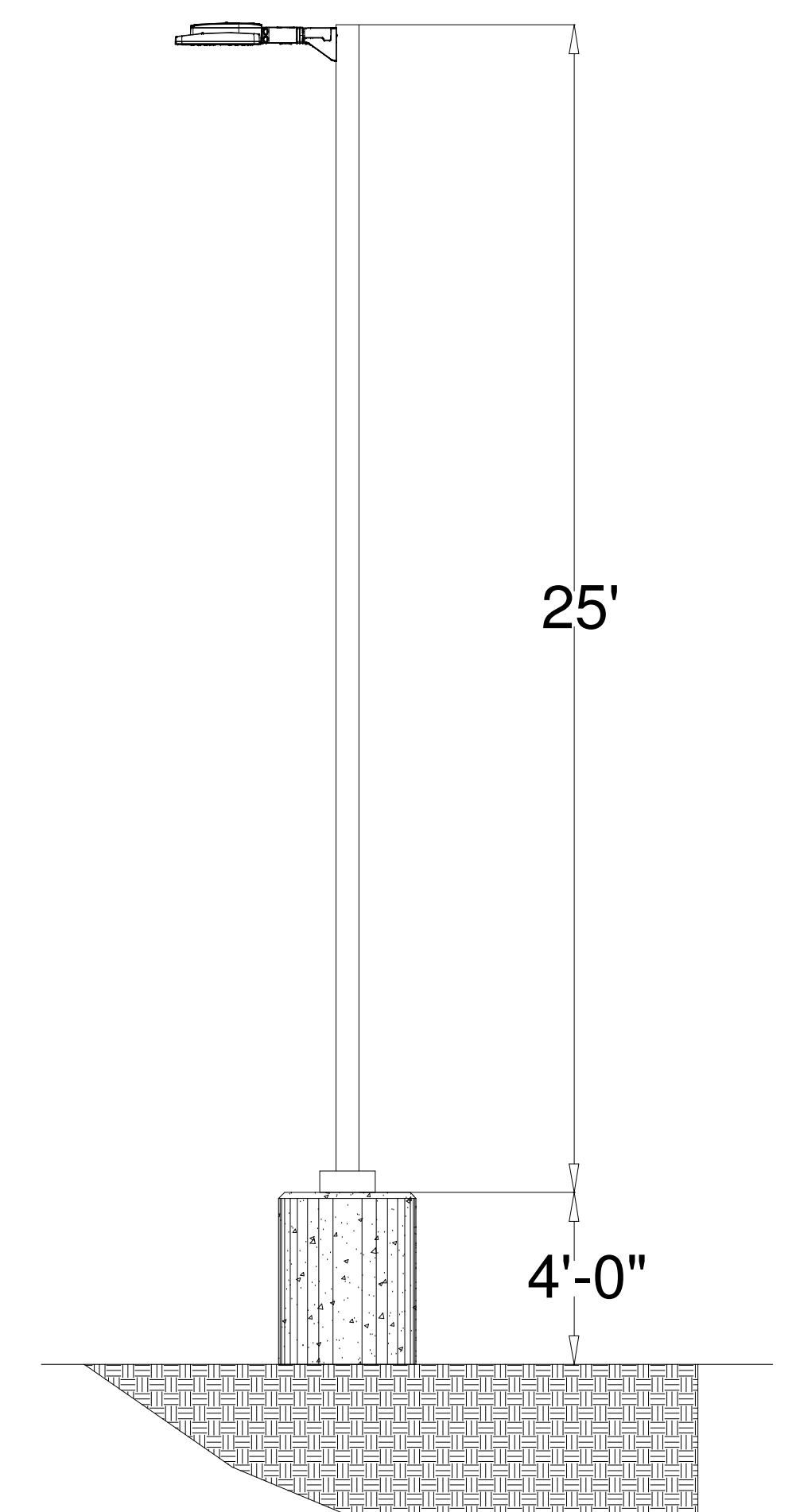
**Proposed poles meet 100MPH sustained winds.**

**Additional Equipment:**

**(24) - NTA-DA-CS - (Direct Arm Mount)**

**\*\*\* CUSTOMER TO VERIFY ORDERING INFORMATION AND CATALOGUE NUMBER PRIOR TO PLACING ORDER \*\*\***

**Noctura Series**



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Illumination results shown on this lighting design are based on project parameters provided to Cree Lighting used in conjunction with luminaire test procedures conducted under laboratory conditions. Actual project conditions differing from these design parameters may affect field results. The customer is responsible for verifying dimensional accuracy along with compliance with any applicable electrical, lighting, or energy code.

**Project Name: Aldi - 12632 Dorsett Rd Maryland Heights, MO - EXT Layout**

Case #: 00497236

Footcandles calculated at grade

Filename: ALD-220517MAMOCJWR

Layout By:  
Collin Withrow  
Date: 11/9/2022

Scale 1" = 30'

